

Minutes of the North Carolina Building Code Council
March 10, 2020
Washington, NC

All members of the North Carolina Building Code Council were present for the Council meeting except Robert Morrow, Daniel Priest and Victoria Watlington.

The following are summary minutes. The official minutes of this meeting are recorded on CD. Anyone desiring verbatim CDs or excerpts from these CDs should contact the Engineering Division of the NC Department of Insurance for information and reproduction costs. The next scheduled NC Building Code Council meeting will be held **Tuesday, June 9, 2020**. The location will be announced 30 days before the meeting.

Part A Administrative Items

Item A – 1 Ethics Statement: Inquire upon conflicts of interest or appearance of conflicts of interest that exist within the Council.

There were no actual or potential conflicts of interest noted.

Item A – 2 Approval of Minutes of the December 10, 2019 NC Building Code Council Meeting.

A motion to accept the December 10, 2019 meeting minutes was made by K. Rogers. Second by R. Euchner. Motion passed.

Item A – 3 Rules Review Commission Meeting Report.

Rules Review passed all “D” items from December 10, 2019 meeting. As a result of a Fiscal Note being requested by an individual, items D-7, D-8, and D-9 from the September 10, 2019 are being held at Rules Review waiting for a Fiscal Note from OSBM.

Item A – 4 Public Comments

The Town of Washington City Manager, Jonathan Russell, welcomed the Building Code Council and guests to Washington; and thanked the BCC for selecting Washington for their meeting.

Part B – New Petition for Rulemaking

The following Petitions for Rulemaking have been received since the last Council meeting. The Council will vote either to deny or grant these Petitions. The Council will give no further consideration to Petitions that are denied. Petitions that are granted may proceed through the Rulemaking process. The council may send any Petition to the appropriate committee. The hearing will take place during or after the June 9th meeting.

Item B – 1 Request from Wayne Hamilton representing the NC Building Code Council to amend the 2018 NC Fire Code, Sections 202, 304, 304.4.3 and 304.4.4 as follows:

Valet Trash Collection Service. A scheduled trash removal service that collects occupant-generated rubbish, trash, or recyclable materials from dwelling units, where the trash is placed outside of the dwelling units for a limited time and in an approved container.

304.4 Valet Trash Collection Services for R-2 Apartment Occupancies

304.4.3 Policies and procedures. Apartment management shall have written policies and procedures in place, enforce compliance, and upon request provide a copy of such policies and procedures to the authority having jurisdiction.

304.4.4 Revocation. The use of doorstep refuse and recycling collection containers in apartment occupancies is revocable by the *fire code official* for violations of this section.

Commercial Super Committee: Motion to grant made by W. Hamilton. Second by M. Ali.

Motion passed.

Building Code Council: Motion to grant made by K. Rogers. Second by F. Meads.

Motion passed.

Item B – 2 Item has been withdrawn by proponent.

Item B – 3 Request from Colin Triming representing the NC Fire Code Revision Committee to amend the 2018 NC Fire Code, Section 609.2 and 2018 NC Mechanical Code, Section 507.2 as follows:

[M] 609.2 Where required.

A Type 1 hood shall be installed at or above all commercial cooking appliances and domestic cooking appliances used for commercial purposes that produce grease or smoke.

Exceptions:

1. A Type 1 hood shall not be required for an electric cooking appliance where an approved testing agency provides documentation that the appliance effluent contains 5mg/m³ or less of grease when tested at an exhaust flow rate of 500 cfm (0.236m³/s) in accordance with UL 710B.

2. Domestic cooking appliances used for commercial purposes in accordance with Section 507.1.2 of the *International Mechanical Code*.

3. Factory-built commercial exhaust hoods that are listed and labeled in accordance with UL 710, and installed in accordance with Section 304.1 of the International Mechanical Code, shall not be required to comply with Sections 507.1.5, 507.2.3, 507.2.5, 507.2.8, 507.3.1, 507.3.3, 507.4 and 507.5 of the International Mechanical Code.

4. Factory-built commercial cooking recirculating systems that are listed and labeled in accordance with UL 710B, and installed in accordance with Section 304.1 of the International Mechanical Code, shall not be required to comply with Sections 507.1.5, 507.2.3, 507.2.5, 507.2.8, 507.3.1, 507.3.3, 507.4 and 507.5 of the International Mechanical Code. Spaces in which such systems are located shall be considered to be kitchens and shall be ventilated in accordance with Table 403.3.1.1 of the International Mechanical Code. For the purpose of determining the floor area required to be ventilated, each individual appliance shall be considered as occupying not less than 100 square feet (9.3m²).

5. Where cooking appliances are equipped with integral down-draft exhaust systems and such appliances and exhaust systems are listed and labeled for the application in accordance with NFPA 96, a hood shall not be required at or above them.

Chapter 80 – Referenced Standards

UL 710-2012

Exhaust Hoods for Commercial Cooking Equipment

Commercial Super Committee: Motion to grant made by W. Hamilton. Second by K. Rogers.

Motion passed.

Building Code Council: Motion to grant made by W. Hamilton. Second by K. Rogers.

Motion passed.

Item B – 4 Item has been withdrawn by proponent.

Item B – 5 Request from Colin Triming representing the NC Fire Code Revision Committee to amend the 2018 NC Fire Code, Section 3103.3.1 as follows:

3103.3.1 Special amusement building.

Tents and other membrane structures erected as a special amusement building shall be equipped with an automatic sprinkler system in accordance with Section 411.4 of the International Building Code.

Commercial Super Committee: Motion to grant made by W. Hamilton. Second by M. Ali.

Motion passed.

Building Code Council: Motion to grant made by W. Hamilton. Second by K. Rogers. Motion passed.

Item B – 6 Request from Colin Triming representing the NC Fire Code Revision Committee to amend the 2018 NC Fire Code, Section 3103.6 as follows:

3103.6 Construction documents.

A detailed site and floor plan for tents or membrane structures with an *occupant load* of 50 or more shall be provided with each application for approval. The tent or membrane structure floor plan shall indicate details of the *means of egress* facilities, seating capacity, arrangement of the seating and location and type of heating and electrical equipment. The construction documents shall include an analysis of structural stability.

Commercial Super Committee: Motion to grant made by W. Hamilton. Second by M. Humiston. Motion passed.

Building Code Council: Motion to grant made by W. Hamilton. Second by K. Rogers. Motion passed.

Item B – 7 Request from James Anthony representing the Anthony Property Group to amend the 2018 NC Residential Code, Section 202 Definitions as follows:

Family. Family is an individual, two or more persons related by blood, marriage or law, or a group of not more than any five eight persons living together in a dwelling unit. Servants having common housekeeping facilities with a family consisting of an individual, or more persons related by blood, marriage or law, are a part of the family for this code.

Ed Halberg, representing Jim Anthony, spoke in favor of this item, requesting it move forward.

Residential Super Committee: Motion to grant made by D. Smith. Second by L. Skinner. Motion passed.

Building Code Council: Motion to grant made by F. Meads. Second by G. Embler. Motion passed.

Item B – 8 Request from Carl Martin representing the NC Department of Insurance to amend the 2018 NC Building Code, Section 705.12 as follows:

705.12 Soffit in Group R.

In Group R buildings of combustible construction, the soffit material shall be securely attached to framing members and shall be constructed using one of the following methods:

1. Non-combustible soffit material,
2. Fire retardant treated soffit material,
3. Vinyl soffit installed over 3/4-inch wood sheathing,
4. Vinyl soffit installed over 5/8-inch gypsum board,
5. Aluminum soffit installed over 3/4-inch wood sheathing, or
6. Aluminum soffit installed over 5/8-inch gypsum board.

Venting requirements shall apply to both soffit and underlayment and shall be per Section 1203.2. ~~Vent openings shall not be located within 5 feet horizontally of any unprotected wall opening located within 3 feet vertically below the soffit.~~

Exceptions:

1. Vinyl and aluminum soffit material may be installed without wood sheathing or gypsum backing board if the exterior wall finish is noncombustible for a minimum distance of 10 feet above finished grade or the building is equipped throughout with an automatic sprinkler system in accordance with 903.3.1.1.
2. ~~Location of vent openings in soffits shall not be limited in buildings equipped throughout with an automatic sprinkler system complying with Section 903.3.1.1.~~ Detached one- and two- family dwellings and townhouses.

Commercial Super Committee: Motion to grant made by W. Hamilton. Second by K. Rogers.

Motion passed.

Building Code Council: Motion to grant made by W. Hamilton. Second by F. Meads.

Motion passed.

Item B – 9 Request from Seth Coker representing Comet builders, LLC to amend the 2018 NC Building and Fire Code, Section 1021.3 as follows:

Add Exception

1021.3 Openness. The long side of an egress balcony shall be at least 50 percent open, and the open area above the *guards* shall be so distributed as to minimize the accumulation of smoke or toxic gases.

Exception: where the standards for Openness are not met, but the exterior egress balcony is served by not less than two exterior stairways or ramps, the Wall Separation exception may still apply to elevator doors and shafts.

Note: the remainder of 1021.3 remains unchanged.

**Commercial Super Committee: Motion to deny made by W. Hamilton. Second by M. Humiston.
Motion denied.**

No action taken by the Council.

Item B – 10 Request from David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R302.1.1 Soffit Protection as follows:

R302.1.1 Soffit protection. In construction using vinyl or aluminum soffit material, the following application shall apply. Soffit assemblies located on buildings with less than a ~~10~~ 5 feet (3048 mm) fire separation distance shall be securely attached to framing members and applied over fire-retardant-treated wood, 23/32-inch (18.3 mm) wood sheathing or 5/8-inch (15.9 mm) exterior grade or moisture resistant gypsum board. Venting requirements shall be provided in both soffit and underlayments. Vents shall be either nominal 2-inch (51 mm) continuous or equivalent intermittent and shall not exceed the minimum net free air requirements established in Section R806.2 by more than 50 percent. *Townhouse* construction shall meet the additional requirements of Sections R302.2.5 and R302.2.6.

Exceptions:

1. Any portion of soffits having ~~10~~ 5 feet (3048 mm) or more *fire separation distance*.
2. Roof rake lines where the soffit does not communicate to the attic are not required to be protected per this section.
3. Soffits with less than 3 feet (914 mm) *fire separation distance* shall meet the projection fire rating requirements of Table R302.1.
4. Soffits between buildings located on the same lot.

**Residential Super Committee: Motion to grant made by D. Smith. Second by L. Skinner.
Motion passed.**

**Building Code Council: Motion to grant made by F. Meads. Second by L. Skinner.
Motion passed.**

Item B – 11 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Building Code, Tables R602.3(3), R602.10.1 and R602.10.3 as follows:

**Table R602.10.3
REQUIRED LENGTH OF BRACING ALONG EACH SIDE OF A CIRCUMSCRIBED
RECTANGLE^{a,b,c,d,e,f,g,h}**

7/16-inch Wood Structural Panel Sheathing with ½-inch gypsum on inside wall

Panels are blocked

Nails to be 8d common or galvanized box (2-1/2 inches long X 0.113-inch diameter)

6-inch nail spacing on edges and 6-inch nail spacing in field

Each story is 10 feet maximum

Maximum stud spacing of 24 inches

Maximum roof slope 12:12

Building length to width ratio is 2

WIND SPEED	EAVE TO RIDGE HEIGHT (feet)	STORIES SUPPORTED	WALL PERPENDICULAR TO WIND (Wall Wind Loads)															
			Building Width in Feet															
			10	15	20	25	30	35	40	45	50	55	60	65	70	75	80	
			Length (ft) of Braced Panel in Each Exterior Wall															
115	10	Roof Only	2.0 1.6	2.0 1.6	2.5 3.2	3.0 2.4	3.5 4.8	4.0 4.8	4.5 6.4	5.0 8.0	5.5 8.0	6.0 9.6	6.5 9.6	7.0 11.2	7.5 11.2	8.0 12.8		
		Roof +1 story	3.0 2.9	4.0 2.9	5.5 5.9	6.5 8.8	8.0 8.8	9.0 11.8	10.0 11.8	11.0 14.7	12.5 14.7	13.5 17.7	14.5 17.7	16.0 20.6	17.0 20.6	18.0 23.6		
		Roof +2 stories	4.5 4.4	6.5 4.4	8.5 8.8	10.5 13.2	12.0 13.2	14.0 17.7	16.0 17.7	17.5 22.1	19.5 22.1	21.0 26.5	23.0 26.5	24.5 26.5	26.5 30.9	28.5 30.9	30.0 35.3	
	15	Roof Only	2.0 2.4	2.0 2.4	3.0 4.0	3.5 4.7	4.0 7.1	4.5 7.1	5.5 9.4	6.0 9.4	7.0 11.8	8.5 11.8	9.0 14.2	10.0 14.2	10.5 16.5	11.5 16.5	12.0 18.9	
		Roof +1 story	3.5 3.3	4.5 3.3	6.0 6.6	7.0 10.0	8.5 10.0	9.5 13.3	11.0 13.3	12.0 16.6	13.5 16.6	15.0 19.9	16.0 19.9	17.5 23.3	18.5 23.3	20.0 26.6		
		Roof +2 stories	5.0 4.8	7.0 4.8	9.0 9.6	11.0 14.5	13.0 14.5	15.0 19.3	16.5 19.3	18.5 24.1	20.5 24.1	22.5 28.9	24.5 28.9	26.0 33.8	28.0 33.8	30.0 38.6		
	20	Roof Only	2.0 2.4	2.5 2.4	3.5 4.7	4.0 7.1	4.5 7.1	5.5 9.4	6.0 9.4	7.0 11.8	8.5 11.8	9.0 14.2	10.0 14.2	10.5 16.5	11.5 16.5	12.0 18.9		
		Roof +1 story	3.5 3.7	5.0 3.7	6.5 7.4	8.0 11.1	9.0 11.1	10.5 14.8	12.0 14.8	13.5 18.5	14.5 18.5	16.0 22.2	17.5 22.2	18.5 25.9	20.0 25.9	21.5 29.6		
		Roof +2 stories	5.0 5.2	7.5 5.2	9.5 10.5	11.5 15.7	13.5 15.7	15.5 20.9	17.5 20.9	19.5 26.2	21.5 26.2	23.5 31.4	25.5 31.4	27.5 36.6	29.5 36.6	31.5 41.9		
	120	10	Roof Only	2.0 1.8	2.0 1.8	2.5 3.7	3.0 4.4	3.5 5.5	4.0 5.5	5.0 7.4	5.5 7.4	6.0 9.2	6.5 9.2	7.0 11.0	7.5 11.0	8.0 12.9	8.5 12.9	9.0 14.7
			Roof +1 story	3.5 3.2	4.5 3.2	6.0 6.4	7.0 9.7	8.5 9.7	9.5 12.9	11.0 12.9	12.0 16.1	13.5 16.1	14.5 19.3	16.0 19.3	17.0 22.6	18.5 22.6	19.5 25.8	
			Roof +2 stories	5.0 4.8	7.0 4.8	9.5 9.6	11.5 14.4	13.0 14.4	15.0 19.3	17.0 19.3	19.0 24.1	21.0 24.1	23.0 28.9	25.0 28.9	27.0 33.7	29.0 33.7	31.0 38.5	
15		Roof Only	2.0 2.2	2.5 2.2	3.0 4.4	3.5 4.4	4.5 6.6	5.0 6.6	6.0 8.8	6.5 8.8	7.0 11.0	8.0 11.0	8.5 13.2	9.0 13.2	10.0 15.4	10.5 15.4	11.0 17.6	
		Roof +1 story	3.5 3.6	5.0 3.6	6.5 7.3	8.0 10.9	9.0 10.9	10.5 14.5	12.0 14.5	13.5 18.2	14.5 18.2	16.0 21.8	17.5 21.8	19.0 25.4	20.0 25.4	21.5 29.1		
		Roof +2 stories	5.5 5.3	7.5 5.3	10.0 10.5	12.0 15.8	14.0 15.8	16.0 21.0	18.0 21.0	20.0 26.3	22.5 26.3	24.5 31.6	26.5 31.6	28.5 36.8	30.5 36.8	32.5 42.1		
20		Roof Only	2.0 2.6	3.0 2.6	3.5 5.1	4.5 7.7	5.0 7.7	6.0 10.3	6.5 10.3	7.5 12.8	8.5 12.8	9.0 15.4	10.0 15.4	10.5 18.0	11.5 18.0	12.5 20.5		
		Roof +1 story	4.0 4.3	5.5 4.3	7.0 8.5	8.5 12.1	10.0 12.1	11.5 16.2	13.0 16.2	14.5 20.2	16.0 20.2	17.5 24.3	19.0 24.3	20.5 28.3	22.0 28.3	23.5 32.4		
		Roof +2 stories	5.5 5.7	8.0 5.7	10.5 11.4	12.5 17.1	14.5 17.1	17.0 22.8	19.0 22.8	21.5 28.5	23.5 28.5	25.5 34.2	28.0 34.2	30.0 39.9	32.0 39.9	34.5 45.6		
130		10	Roof Only	2.0 2.2	2.5 2.2	3.0 4.3	3.5 4.3	4.5 6.5	5.0 6.5	5.5 8.6	6.5 8.6	7.0 10.8	7.5 10.8	8.0 12.9	9.0 12.9	9.5 15.1	10.0 15.1	11.0 17.3
			Roof +1 story	4.0 3.8	5.5 3.8	7.0 7.6	8.5 11.4	10.0 11.4	11.5 15.1	13.0 15.1	14.5 18.9	16.0 18.9	17.5 22.7	18.5 22.7	20.0 26.5	21.5 26.5	23.0 30.3	
			Roof +2 stories	6.0 5.7	8.5 5.7	11.0 11.4	13.0 17.0	15.5 17.0	18.0 22.7	20.0 22.7	22.5 28.4	24.5 28.4	27.0 34.1	29.5 34.1	31.5 39.8	34.0 39.8	38.5 45.5	
	15	Roof Only	2.0 2.6	3.0 2.6	3.5 5.2	4.5 7.7	5.0 7.7	6.0 10.3	6.5 10.3	7.0 12.9	7.5 12.9	8.5 15.5	9.0 15.5	10.0 18.1	10.5 18.1	11.5 20.7		
		Roof +1 story	4.0 4.3	6.0 4.3	7.5 8.5	9.0 12.8	11.0 12.8	12.5 17.1	14.0 17.1	15.5 21.3	17.0 21.3	19.0 25.6	20.5 25.6	22.0 29.9	23.5 29.9	27.0 34.1		
		Roof +2 stories	6.0 6.2	9.0 6.2	11.5 12.4	14.0 18.6	16.5 18.6	19.0 24.8	21.5 24.8	23.5 31.0	26.0 31.0	28.5 37.2	31.0 37.2	33.5 43.4	36.0 43.4	40.5 49.7		
	20	Roof Only	2.5 3.0	3.5 3.0	4.5 6.0	5.0 9.0	6.0 9.0	7.0 12.0	8.0 12.0	9.0 15.1	10.0 15.1	10.5 18.1	11.5 18.1	12.5 21.1	13.5 21.1	14.5 24.1		
		Roof +1 story	4.5 4.7	6.5 4.7	8.0 9.5	10.0 14.2	11.5 14.2	13.5 19.0	15.0 19.0	17.0 23.7	18.5 23.7	20.5 28.5	22.0 28.5	24.0 33.2	25.5 33.2	29.0 38.0		
		Roof +2 stories	6.5 6.7	9.5 6.7	12.0 13.5	14.5 20.2	17.5 20.2	20.0 26.9	22.5 26.9	25.0 33.7	27.5 33.7	30.0 40.4	32.5 40.4	35.5 47.1	38.0 47.1	43.0 53.8		

- a. If the stud spacing is reduced to 16 inches, table values for 7/16-inch sheathing may be multiplied by 0.93.
- b. If the stud spacing is reduced to 16 inches or the sheathing thickness is greater than 7/16-inch, the interior field nail spacing may be increased to 12 inches.
- c. If the 1/2-inch gypsum is not applied to the inside of the wall, the table lengths are to be multiplied by 1.22.
- d. Table values shall be multiplied by the following values for different wall heights:

8ft. walls	0.87
9ft. walls	0.92
11ft. walls	1.08
12ft. walls	1.15

- e. If 3/8-inch wood structural sheathing is used instead of 7/16-inch wood structural sheathing, table lengths are to be multiplied by 1.07.

- f. If ½-inch structural fiberboard is used instead of 7/16-inch wood structural sheathing, table lengths are to be multiplied by 1.31.
- g. Interpolation is permitted, extrapolation is prohibited.
- h. For Exposure Category C or D, multiply the required length of bracing by a factor of 1.5 or 1.8 respectively.



- a. ~~Interpolation shall be permitted; extrapolation shall be prohibited.~~
- b. ~~For Exposure Category C or D, multiply the required length of bracing by a factor of 1.3 or 1.6, respectively.~~
- c. ~~For wall heights other than 10 feet (3048 mm), multiply the required length of bracing by the following factors; 0.90 for 8 feet (2438mm), 0.95 for 9 feet (2743 mm), 1.05 for 11 feet (3353) and 1.10 for 12 feet (3658 mm).~~
- d. ~~Where minimum ½ inch gypsum wall board interior finish is not provided, the required bracing amount for the affected rectangle side shall be multiplied by 1.40.~~
- e. ~~A floor, habitable or otherwise, contained wholly within the roof rafters or roof trusses need not be considered a story for purposes of determining wall bracing provided the eave to ridge height does not exceed 20 feet (6096 mm) and the openings in the roof do not exceed 48 inches (1219 mm) in width.~~
- f. ~~Perpendicular sides to the front and rear sides are the left and right sides. Perpendicular sides to the left and right sides are the front and rear sides.~~

TABLE R602.3(3)
REQUIREMENTS FOR WOOD STRUCTURAL PANEL WALL SHEATHING USED TO RESIST WIND PRESSURES^{a b c}

MINIMUM NAIL		MINIMUM WOOD STRUCTURAL PANEL SPAN RATING	MINIMUM NOMINAL PANEL THICKNESS (inches)	MAXIMUM WALL STUD SPACING (inches)	PANEL NAIL SPACING		ULTIMATE DESIGN WIND SPEED V _{ult} (mph)		
					Edges (inches o.c.)	Field (inches o.c.)	Wind exposure category		
Size	Penetration (inches)						B	C	D
6d Common (2.0" X 0.113")	1.5	24/0	3/8	16	6	12	140	115	110
8d Common (2.5" x 0.131")	1.75	24/16	7/16	16	6	12	170	140	135
				24	6	12	140	115	110

For SI: 1 inch = 25.4 mm, 1 mile per hour = 0.447 m/s.

- a. Panel strength axis parallel or perpendicular to supports. Three-ply plywood sheathing with studs spaced more than 16 inches on center shall be applied with panel strength axis perpendicular to supports.
- b. Table is based on wind pressures acting toward and away from building surfaces in accordance with Section R301.2. Lateral bracing requirements shall be in accordance with Section R602.10.
- c. Wood structural panels with span ratings of Wall-16 or Wall-24 shall be permitted as an alternate to panels with a 24/0 span rating. Plywood siding rated 16 o.c. or 24 o.c. shall be permitted as an alternate to panels with a 24/16 span rating. Wall-16 and Plywood siding 16 o.c. shall be used with studs spaced not more than 16 inches on center.

METHOD	MINIMUM BRACE MATERIAL THICKNESS	MINIMUM BRACE PANEL LENGTH OR BRACE ANGLE	CONNECTION CRITERIA		FIGURE OF BRACING METHOD, NOT NECESSARILY LOCATION
			Fasteners	Spacing	
LIB Let-in-bracing	1 x 4 wood brace (or approved metal brace installed per manufacturer instructions)	45° angle for maximum 16" o.c. stud spacing	2-8d common nails or 3-8d (2 1/2" long x 0.113" dia.) nails	Per stud and top and bottom plates	
DWB Diagonal wood boards	3/4" (1" nominal)	48"	2-8d (2 1/2" long x 0.113" diameter) or 2 - 1 3/4"-long-staples	Per stud and top and bottom plates	
WSP Wood Structural panel	3/8"	48" ^d	6d common nail or 8d (2 1/2" long x 0.113" diameter) nail [See Table R602.3(3)]	6" edges 12" field	
SFB Structural fiberboard sheathing	1/2"	48" ^d	1 1/2" long x 0.120" diameter galvanized roofing nails	3" edges 6" field	
GB Gypsum board installed on both sides of wall	1/2"	96" for use with R602.10.2 48" for use with R602.10.3	Minimum 5d cooler nails or #6 screws	7" edges 7" field	
PCP Portland cement plaster	3/4" (maximum 16" o.c. stud spacing)	48"	1 1/2" long, 11 gage, 7/16" diameter head nails or 7/8" long 6 gage staples	6" o.c. on all framing members	
CS-WSP ^{e,i} Continuously Sheathed SFB	3/8"	24" adjacent to window not more than 67% of wall height:	Same as WSP	Same as WSP	
CS-SFB ^{e,i} Continuously sheathed SFB	1/2"	30" adjacent to door or window greater than 67% and less than 85% of wall height. 48" for taller openings.	Same as SFB	Same as SFB	
PF Portal Frame ^{f,g,h}	7/16"	See Figure R602.10.1	See Figure R602.10.1	See Figure R602.10.1	

Notes:

- Alternative bracing materials and methods shall comply with Section 105 of the *North Carolina Administrative Code and Policies*, and shall be permitted to be used as a substitute for any of the bracing materials listed in Table R602.10. 1 provided at least equivalent performance is demonstrated, Where the tested bracing strength or stiffness differs from tabulated materials. the bracing amount required for the alternative material shall be permitted to be factored to achieve equivalence.
- All edges of panel-type wall bracing required from ~~Tables Section~~ Section R602.10.2 and or Section R602.10.3 shall be attached to framing or blocking, except GB bracing horizontal joints shall not be required to be blocked when joints are finished.
- Two LIB braces installed at a 60° angle shall be permitted to be substituted for each 45° angle LIB brace.
- For 8-foot (2483 mm) or 9-foot (2743 mm) wall height. brace panel minimum length shall be permitted to be reduced to 36-inch (914 mm) or 42-inch length (1067 mm). respectively, where not located adjacent to a door opening. A braced wall panel shall be permitted to be reduced to a 32-inch (813 mm.) length when studs at each end of the braced wall panel are anchored to foundation or framing below using hold-down device with minimum 2,800 pounds design tension capacity, For detached single story garages and attached garages supporting roof only. a minimum 24-inch (610 mm) brace panel length shall be permitted on one wall containing one or more garage door openings.
- Bracing methods designated CS-WSP and CS-SFB shall have sheathing installed on all sheathable surfaces above, below, and between wall openings.
- For purposes of bracing in accordance with Section R602.10.2. two portal frame brace panels with wood structural panel sheathing applied to the exterior face of each brace panel as shown in Figure R602.10.1 shall be considered equivalent to. one braced wall panel:
- Structural fiberboard (SFB) shall not be used in portal frame construction.

- h. No more than three portal frames shall be used in a single building elevation.
- i. CS-WSP and CS-SFB cannot be mixed on the same story. Gable ends shall match the panel type of the wall below.

Commercial Super Committee: Motion to grant made by D. Smith. Second by S. Knight.

Motion passed.

Building Code Council: Motion to grant made by R. Euchner. Second by M. Ali.

Motion passed.

Part C – Notice of Rulemaking Proceedings and Public Hearing

The following Petitions for Rulemaking have been granted by the Council. Notice of Rulemaking proceedings has been made. The Public Hearing will be held on March 10, 2020 and the Final Adoption meeting may take place on or after June 2020. The written public comment period expires on April 14, 2020.

Item C – 1 Request by Tommy Rowland representing Mecklenburg County Code Enforcement to amend the 2018 NC Mechanical Code, Table 403.3.1.1 as follows:

Private dwellings, single and multiple				
Garages, common for multiple units ^b	—	—	—	0.75
<u>Garages, below dwelling units^l</u>	—	—	—	<u>100 cfm per car</u>
Kitchens ^b	—	—	—	25/100 ^f

j. if the tenants of the dwelling have exclusive use of the garage below, no exhaust is required

(Only amended portions of the table are shown. The remainder of the table is unchanged by this amendment.)

Tommy Rowland spoke in favor of this item.

Item C – 2 Request by Reuben E. Clark representing CMI to amend the 2017 NEC, Section 680.26(B)(2)(b) as follows:

(6) This method shall only be permitted for above-ground pools, for in ground pools a copper grid is required as per 680.26(B)(1)(b).

Doug Dorr, with Electric Power Research Institute, spoke in favor of this item.

Jennifer Hatfield, with the Pool & Hot Tub Alliance, spoke in opposition of this item.

Wendy Purser, with the Pool & Hot Tub Alliance, spoke in opposition of this item.

Dan Johnson, licensed pool contractor, spoke in opposition of this item.

Mike Schwartz, Swim Safe Pools in Raleigh, spoke in opposition of this item.

Item C – 3 Request by Leon Meyers representing BuildSense Inc. to amend the 2018 NC Energy Conservation Code, Sections C401.2 and R401.2 as follows:

C401.2 Application

Commercial buildings shall comply with one of the following:

1. The requirements of ANSI/ASHRAE/IESNA 90.1.
2. The requirements of Sections C402 through C405. In addition, commercial buildings shall comply with Section C406 and tenant spaces shall comply with Section C406.1.1.
3. The requirements of Sections C402.5, C403.2, C404, C405.2, C405.3, C405.5, C405.6 and C407. The building energy cost shall be equal to or less than 85 percent of the standard reference design building.
4. ~~North Carolina specific COMcheck keyed to the 2013 2016 COMcheck~~ North Carolina specific COMcheck keyed to the 2018 IECC or ASHRAE 90.1 shall be permitted to demonstrate compliance with this code.

R401.2 Compliance.

Projects shall comply with one of the following:

1. Sections R401 through R404.
2. Section R405 and the provisions of Sections R401 through R404 labeled “Mandatory.”
3. An energy rating index (ERI) approach in Section R406.
4. ~~North Carolina specific REScheck keyed to the 2013 2016 REScheck~~ North Carolina specific REScheck keyed to the 2018 IECC shall be permitted to demonstrate compliance with this code. Envelope requirements may not be traded off against the use of high efficiency heating or cooling equipment. No tradeoff calculations are needed for required termite inspection and treatment gaps.

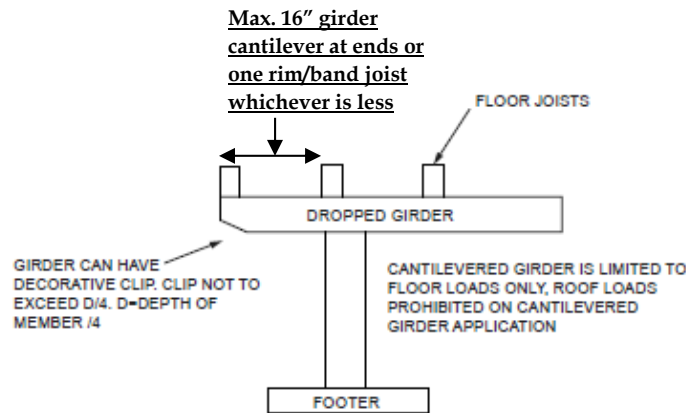
Ryan Miller, NC Building Performance Association, speaking on behalf of Leon Meyers, spoke in support of this item.

Item C – 4 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Building Code, Section R102.5 Appendices as follows:

R102.5 Appendices. Provisions in the appendices shall not apply unless specifically referenced in the code text ~~adopting ordinance~~.

No comments.

Item C – 5 Request by David Smith, representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Building Code, Appendix M as follows:



For SI: 1 inch = 25.4 mm.

**FIGURE AM105.1(4)
CANTILEVERED DROPPED GIRDER**

**SECTION AM105
GIRDER SUPPORT AND SPAN**

AM105.1 General. Girders shall bear directly on the support post with the post attached at top to prevent lateral displacement or be connected to the side of the posts with two 5/8-inch (16 mm) hot-dip galvanized bolts with nut and washer. Girder spans are per Table R602.7(1) and (2). Girder support is permitted to be installed in accordance with Figure AM105.1(1) for top mount; Figure AM105.1(2) for side mount and Figure AM105.1(3) for split girders. See Figure AM105.1(4) for cantilevered girders. Girders may also be cantilevered off ends of support post no more than one joist spacing or 16 inches, whichever is greater per Figure AM105.1(4).

~~**AM105.2 Girder span for uncovered porches and decks.** Maximum allowable spans for wood deck girders, as shown in Figure AM105.2, shall be in accordance with Table AM105.2. Girder plies shall be fastened with two rows of 10d (3-inch x 0.128-inch) nails minimum at 16 inches (406 mm) on center along each edge. Girders shall be permitted to cantilever at each end up to one fourth of the actual beam span. Splices of multispan beams shall be located at interior post locations.~~

~~**AM105.3 Girder span for roofed porches and decks.** Girder spans for covered decks shall be in accordance with Tables R602.7(1) and (2).~~

**SECTION AM106
JOIST SPANS AND CANTILEVERS**

~~**AM106.1 Joist spans for uncovered porches and decks** and cantilevers. Joists spans shall be based upon Table R502.3.1(2) with 40lbs per sq ft of live load and 10 lbs per sq ft of dead load. Floor joists for exterior decks may be cantilevered per Table R502.3.3(1). Maximum allowable spans for wood deck joists, as shown in Figure AM106.1, shall be in accordance with Table AM106.1. Deck joists shall be permitted to cantilever not greater than one-fourth of the actual, adjacent joist span.~~

~~**AM106.1.1 Lateral restraint at supports.** Joist ends and bearing locations shall be provided with lateral restraint to prevent rotation. Where lateral restraint is provided by joist hangers or blocking between joists, their depth shall equal not less than 60 percent of the joist depth. Where lateral restraint is provided by rim joists, they shall be secured to the end of each joist with not less than (3) 10d (3-inch × 0.128-inch) nails or (3) No. 10 × 3-inch (76 mm) long wood screws.~~

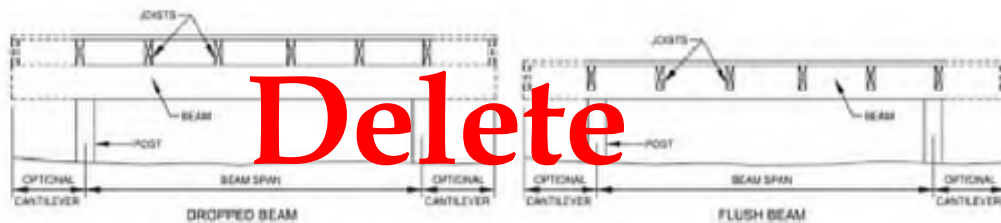
~~**AM106.2. Roofed porches and decks.** Joists spans shall be in accordance with Table R502.3.1(2) with 40-pounds per-square-foot live load and 10-pounds per-square-foot dead load. Cantilevered floor joists shall be in accordance with Table R502.3.3(1).~~

**TABLE AM105.2
DECK GIRDER SPAN LENGTHS^{a, b}
(feet – inches)**

SPECIES ^c	SIZE ^d	DECK JOIST SPAN LESS THAN OR EQUAL TO: (feet)						
		6	8	10	12	14	16	18
Southern pine	2 – 2 x 6	6-11	5-11	5-4	4-10	4-6	4-3	4-0
	2 – 2 x 8	8-9	7-7	6-9	6-2	5-9	5-4	5-0
	2 – 2 x 10	10-4	9-0	8-0	7-4	6-9	6-4	6-0
	2 – 2 x 12	12-2	10-7	9-5	8-7	8-0	7-6	7-0
	3 – 2 x 6	8-2	7-5	6-8	6-1	5-8	5-3	5-0
	3 – 2 x 8	10-10	9-6	8-6	7-9	7-2	6-8	6-4
	3 – 2 x 10	13-0	11-3	10-0	9-2	8-6	7-11	7-6
	3 – 2 x 12	15-3	13-3	11-10	10-9	10-0	9-4	8-10
Douglas fir-larch ^e , hem-fir ^e , spruce-pine-fir ^e , redwood, western cedars, ponderosa pine ^f , red pine ^f	3 x 6 or 2 x 6	5-5	4-8	4-2	3-10	3-6	3-1	2-9
	3 x 8 or 2 x 8	6-5	5-5	5-4	4-10	4-6	4-1	3-8
	3 x 10 or 2 x 10	8-2	7-5	6-6	5-11	5-6	5-1	4-8
	3 x 12 or 2 – 2 x 12	9-8	8-5	7-6	6-10	6-4	5-11	5-7
	4 x 6	6-5	5-6	4-11	4-6	4-2	3-11	3-8
	4 x 8	8-5	7-3	6-6	5-11	5-6	5-2	4-10
	4 x 10	9-11	8-7	7-8	7-0	6-6	6-1	5-8
	4 x 12	11-5	9-11	8-10	8-1	7-6	7-0	6-7
	3 – 2 x 6	7-4	6-8	6-0	5-6	5-1	4-9	4-6
	3 – 2 x 8	9-8	8-6	7-7	6-11	6-5	6-0	5-8
	3 – 2 x 10	12-0	10-5	9-4	8-6	7-10	7-4	6-11
	3 – 2 x 12	13-11	12-1	10-9	9-10	9-1	8-6	8-1

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound = 0.454 kg.

- a. Ground snow load, live load = 40 psf, dead load = 10 psf, L/Δ = 360 at main span, L/Δ = 180 at cantilever with a 220-pound point load applied at the end.
- b. Girders supporting deck joists from one side only.
- c. No. 2 grade, wet service factor.
- d. Girder depth shall be greater than or equal to depth of joists with a flush beam condition.
- e. Includes incising factor.
- f. Northern species. Incising factor not included.



**FIGURE AM105.2
TYPICAL DECK GIRDER SPANS**

APPENDIX M

TABLE AM106.1
DECK JOIST SPANS FOR COMMON LUMBER SPECIES^f
(feet – inches)

SPECIES ^a	SIZE	SPACING OF DECK JOISTS WITH NO CANTILEVER ^b (Inches)			SPACING OF DECK JOISTS WITH CANTILEVERS ^c (Inches)		
		12	16	24	12	16	24
Southern pine	2 × 6	9-11	9-0	7-7	6-8	6-8	6-8
	2 × 8	13-1	11-10	9-8	10-1	10-1	9-8
	2 × 10	16-2	14-0	11-5	14-6	14-0	11-5
	2 × 12	18-0	16-6	13-6	18-0	16-6	13-6
Douglas fir-larch ^d , hem-fir ^d , spruce-pine-fir ^d	2 × 6	9-6	8-8	7-3	6-3	6-3	6-3
	2 × 8	12-1	10-1	9-1	9-5	9-5	9-1
	2 × 10	15-8	13-7	11-1	13-7	13-7	11-1
	2 × 12	18-0	15-9	12-10	18-0	15-9	12-10
Redwood, western cedars, ponderosa pine ^e , red pine ^e	2 × 6	8-10	8-0	7-0	5-7	5-7	5-7
	2 × 8	11-8	10-7	8-8	8-6	8-6	8-6
	2 × 10	14-11	13-0	10-7	12-3	12-3	10-7
	2 × 12	17-5	15-1	12-4	16-5	15-1	12-4

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa, 1 pound = 0.454 kg.

- a. No. 2 grade with wet service factor.
- b. Ground snow load, live load = 40 psf, dead load = 10 psf, L/Δ = 360.
- c. Ground snow load, live load = 40 psf, dead load = 10 psf, L/Δ = 360 at main span, L/Δ = 180 at cantilever with a 220-pound point load applied to end.
- d. Includes incising factor.
- e. Northern species with no incising factor.
- f. Cantilevered spans not exceeding the nominal depth of the joist are permitted.

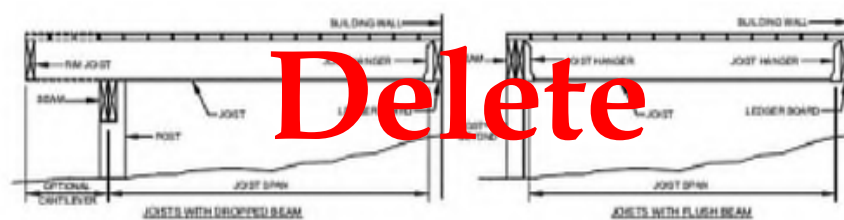


FIGURE AM106.1
TYPICAL DECK JOIST SPANS

TABLE R602.7(3)
GIRDER AND HEADER SPANS* FOR OPEN PORCHES
 (Maximum span for Douglas fir-larch, hem-fir, southern pine and spruce-pine-fir^b)

SIZE	SUPPORTING ROOF						SUPPORTING FLOOR	
	GROUND SNOW LOAD (psf)							
	30		50		70			
	DEPTH OF PORCH ^c (feet)							
	8	14	8	14	8	14	8	14
2-2 x 6	7-6	5-8	7-2	4-8	4-4	4-0	6-4	4-9
2-2 x 8	10-1	7-7	8-3	5-2	7-1	5-4	8-5	6-4
2-2 x 10	12-4	9-4	10-1	7-7	8-9	6-7	10-4	7-9
2-2 x 12	14-4	10-10	11-8	8-10	10-1	7-8	11-11	9-0

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm, 1 pound per square foot = 0.0479 kPa.

a. Spans are given in feet and inches.

b. Tabulated values assume #2 grade lumber, wet service and incising for refractory species. Use 30 psf ground snow load for cases in which ground snow load is less than 30 psf and the roof live load is equal to or less than 20 psf.

c. Porch depth is measured horizontally from building face to centerline of the header. For depths between those shown, spans are permitted to be interpolated.

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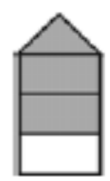

Doug Allen, Simpson Strong Tie, spoke in favor of this item.

Item C – 6 Request by David Smith, representing the Residential Ad-hoc Committee to amend the 2018 Residential Code, Table R602.10.3.

Item was withdrawn by proponent.

Item C – 7 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 Residential Code, Tables R602.3(5) & R602.7.5 as follows:

**Attachment A:
TABLE R602.3(5)
SIZE, HEIGHT AND SPACING OF WOOD STUDS^{a,e}**

STUD SIZE (inches)	BEARING WALLS					NONBEARING WALLS	
	Laterally unsupported stud height ^a (feet)	Maximum spacing when supporting a roof-ceiling assembly or a habitable attic assembly, only (inches)	Maximum spacing when supporting one floor, plus a roof-ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting two floors, plus a roof-ceiling assembly or a habitable attic assembly (inches)	Maximum spacing when supporting one floor height ^a (inches)	Laterally unsupported stud height ^a (feet)	Maximum spacing (inches)
							
2 x 3 ^b	—	—	—	—	—	10	16
2 x 4	10	24 ^c	16 ^c	e d	24	14	24
3 x 4	10	24	24	16	24	14	24
2 x 5	10	24	24	—	24	16	24
2 x 6	10	24	24	16	24	20	24

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

- a. Listed heights are distances between points of lateral support placed perpendicular to the plane of the wall. Bearing walls shall be sheathed on not less than one side or bridging shall be installed not greater than 4 feet apart measured vertically from either end of the stud. Increases in unsupported height are permitted where in compliance with Exception 2 of Section R602.3.1 or designed in accordance with accepted engineering practice.
- b. Shall not be used in exterior walls.
- c. A habitable attic assembly supported by 2 x 4 studs is limited to a roof span of 32 feet. Where the roof span exceeds 32 feet, the wall studs shall be increased to 2 x 6 or the studs shall be designed in accordance with accepted engineering practice.
- d. ~~One half of the studs interrupted by a wall opening shall be placed immediately outside the jack studs on each side of the opening as king studs to resist wind loads. King studs shall extend full height from sole plate to top plate of the wall.~~
- e d. 2 x 4 studs at 12 inches maximum spacing are permitted in accordance with Table R4505(b).

Attachment A (continued):

**TABLE R602.7.5
MINIMUM NUMBER OF FULL HEIGHT KING STUDS
AT EACH END OF HEADERS IN EXTERIOR WALLS**

HEADER SPAN (feet)	MAXIMUM STUD SPACING (inches) [per Table R602.3(5)]	
	16	24
≤ 3'	1	1
4'	2	1
8'	3	2
12'	5	3
16'	6	4

<u>HEADER SPAN (feet)</u>	<u>MINIMUM NUMBER OF FULL HEIGHT STUDS (King)</u>
<u>Up to 3'</u>	<u>1</u>
<u>>3' to 6'</u>	<u>2</u>
<u>>6' to 9'</u>	<u>3</u>
<u>>9' to 12'</u>	<u>4</u>
<u>>12' to 15'</u>	<u>5</u>

No comments.

Item C – 8 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R302.1.1 Soffit Protection.

Item withdrawn by proponent.

Item C – 9 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R311.2 Egress door as follows:

R311.2 Egress door. Not less than one exterior egress door shall be provided for each *dwelling* unit. The egress door shall be side-hinged, and shall provide a clear width of not less than 32 inches (813 mm) where measured between the face of the door and the stop, with the door open 90 degrees (1.57 rad). The clear height of the door opening shall be not less than 78 inches (1981 mm) in height measured from the top of the threshold to the bottom of the stop. Other exterior doors shall not be required to comply with these minimum dimensions. ~~Egress doors shall be readily openable from inside the dwelling.~~ All interior egress doors and a minimum of one exterior egress door shall be readily openable from the side from which egress is to be made without the use of a key or special knowledge or effort.

No comments.

Item C – 10 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R311.7.5.3 Nosings & Section R312 Guards and Window Fall Protection as follows:

R311.7.5.3 Nosings. The radius of curvature at the nosing shall be not greater than 9/16 inch (14 mm). A nosing projection not less than 3/4 inch (19 mm) and not more than 1 1/4 inches (32 mm) shall be provided on stairways with solid risers. The greatest nosing projection shall not exceed the smallest nosing projection by more than 3/8 inch (9.5 mm) between two stories, including the nosing at the level of floors and landings. Beveling of nosings shall not exceed 1/2 inch (12.7 mm).

Exceptions:

~~1. A nosing projection is not required where the tread depth is not less than 11 inches (279 mm).~~

~~2. The opening between adjacent treads is not limited on stairs with a total rise of 30 inches (762 mm) or less.~~

R312.1.2 Height. Required *guards* at open-sided walking surfaces, including stairs, porches, balconies or landings, shall be not less than 36 inches (914 mm) in height as measured vertically above the adjacent walking surface or the line connecting the leading edges of the treads. Open risers are permitted, provided that the opening between treads does not permit the passage of a 4-inch diameter (102 mm) sphere.

Exceptions:

1. *Guards* on the open sides of stairs shall have a height not less than 34 inches (864 mm) measured vertically from a line connecting the leading edges of the treads.

2. Where the top of the *guard* serves as a handrail on the open sides of stairs, the top of the *guard* shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm) as measured vertically from a line connecting the leading edges of the treads.

3. Open risers that prevent the passage of a 4-inch (102 mm) diameter sphere.

R312.1.3 Opening limitations. Required *guards* shall not have openings from the walking surface to the required *guard* height that allow passage of a sphere 4 inches (102 mm) in diameter.

Exceptions:

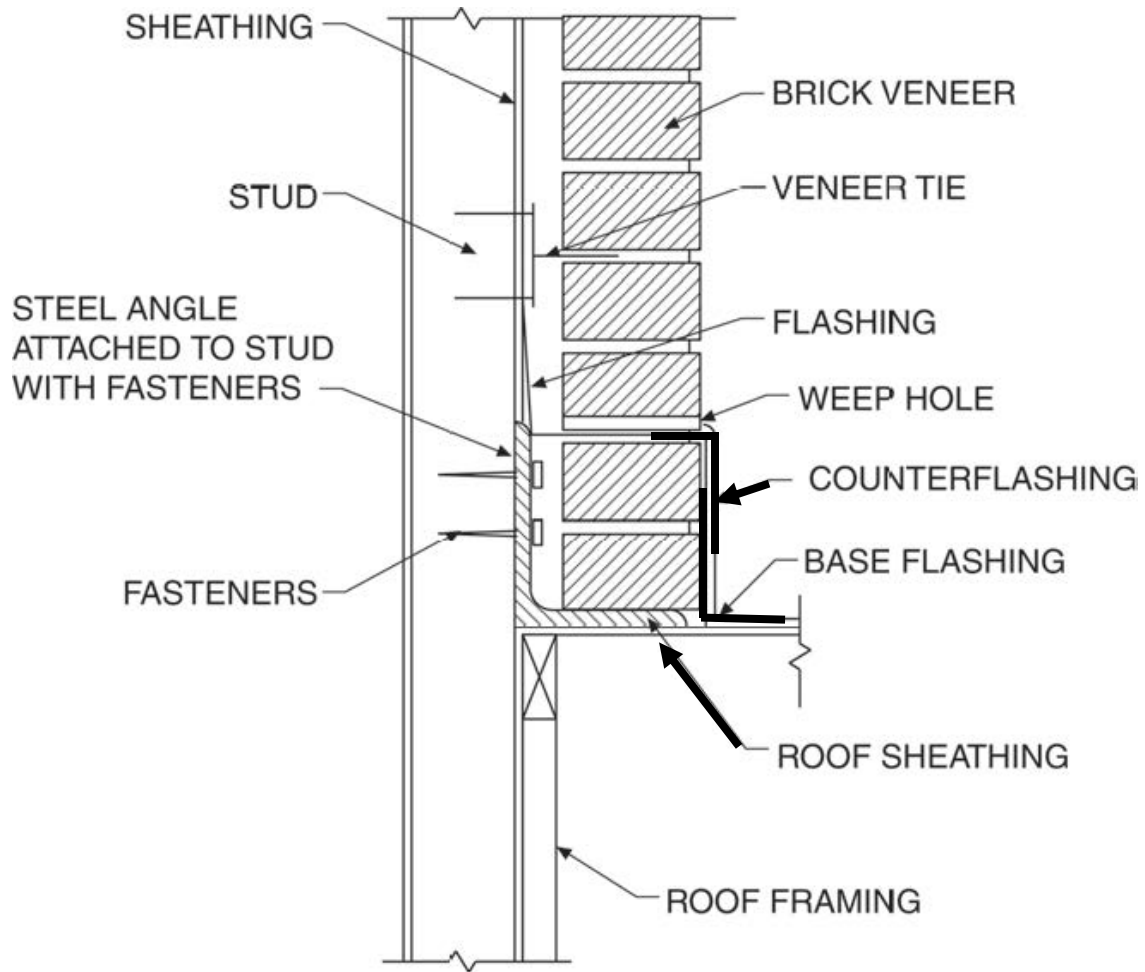
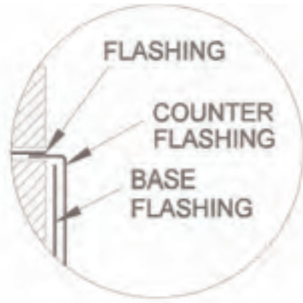
1. The triangular openings at the open side of stair, formed by the riser, tread and bottom rail of a *guard*, shall not allow passage of a sphere 6 inches (153 mm) in diameter.
2. *Guards* on the open side of stairs shall not have openings that allow passage of a sphere 4 3/8 inches (111 mm) in diameter.
3. The opening between adjacent treads is not limited on stairs with a total rise of 30 inches (762 mm) or less.

No comments.

Item C – 11 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R703.8.2.1 Support by steel angle as follows:

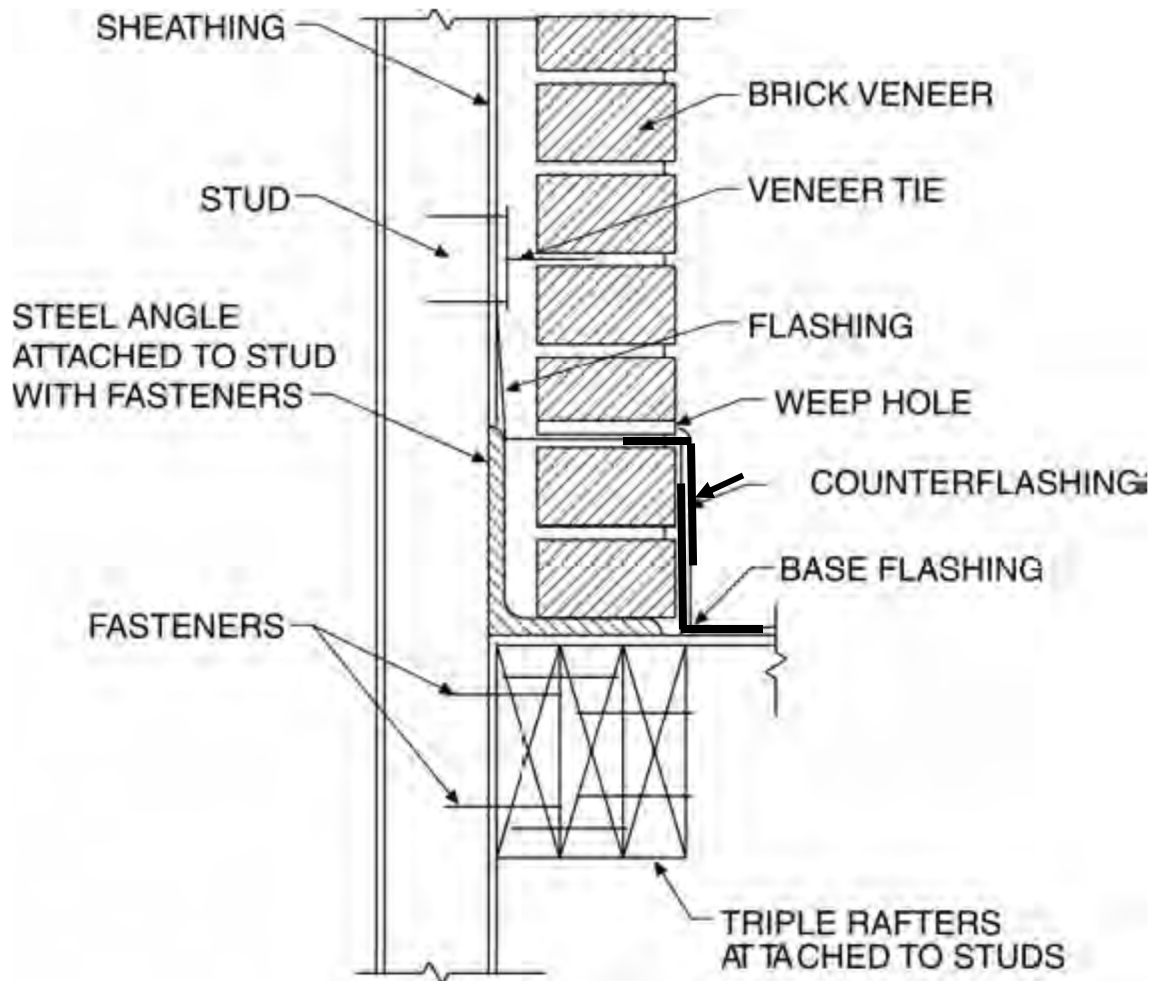
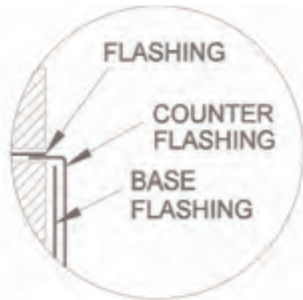
R703.8.2.1 Support by steel angle. A minimum 6-inch by 4-inch by 5/16-inch (152 mm by 102 mm by 8 mm) steel angle, with the long leg placed vertically, shall be anchored to double 2-inch by 4-inch (51 mm by 102 mm) wood studs at a maximum on-center spacing of 16 inches (406 mm). Anchorage of the steel angle at every double stud spacing shall be a minimum of not less than two 7/16-inch diameter (11 mm) by 4-inch (102 mm) lag screws for wood construction at every double stud or shall be a minimum of two 7/16-inch diameter (11.1 mm) by 4 inches (102 mm) lag screws into solid double blocking with each pair of lag screws spaced at horizontal intervals not to exceed 16 inches (406 mm). The steel angle shall have a minimum clearance to underlying construction of 1/16 inch (1.6 mm). ~~Not less than~~ A minimum of two-thirds the width of the masonry veneer thickness shall bear on the steel angle. Flashing and weep holes shall be located in the masonry veneer in accordance with Figure R703.8.2.1. The maximum height of masonry veneer above the steel angle support shall be 12 feet 8 inches (3861 mm). The airspace separating the masonry veneer from the wood backing shall be in accordance with Sections R703.8.4 and R703.8.4.2. The method of support for the masonry veneer on ~~wood construction~~ steel angle shall be constructed in accordance with Figure R703.8.2.1.

The maximum slope of the roof construction without stops shall be 7:12. Roof construction with slopes greater than 7:12 but not more than 12:12 shall have stops of a minimum 3-inch by 3-inch by 1/4-inch (76 mm by 76 mm by 6.4 mm) steel plate welded to the angle at 24 inches (610 mm) on center along the angle or as approved by the building official.



SUPPORT BY STEEL ANGLE

**FIGURE R703.8.2.1
EXTERIOR MASONRY VENEER SUPPORT BY STEEL ANGLES**



SUPPORT BY ROOF MEMBERS

**FIGURE R703.8.2.2
EXTERIOR MASONRY VENEER SUPPORT BY ROOF MEMBER**

No comments.

Item C – 12 Request by David Smith representing the Residential Ad-hoc Committee to amend the 2018 NC Residential Code, Section R311.7.4 Walkline and R311.7.5.2.1 Winder Treads as follows:

R311.7.4 Walkline. ~~Deleted~~ The walkline across winder treads shall be concentric to the curved direction of travel through the turn and located 12 inches (305 mm) from the side where the winders are narrower. The 12 inch (305 mm) dimension shall be measured from the widest point of the clear stair width at the walking surface of the winder. If winders are adjacent within the flight, the point of the widest clear stair width of the adjacent winders shall be used.

R311.7.5.2.1 Winder treads. Winder treads shall have a minimum tread depth of ~~not less than~~ 9 inches (229 mm) measured ~~between the vertical planes of the foremost projection of adjacent treads at the intersection with the walkline as above a point 12 inches (305 mm) from the side where the treads are narrower.~~ Winder treads shall have a minimum tread depth of ~~not less than~~ 4 inches (102 mm) at any point ~~within the clear width of the stair.~~ Within any flight of stairs, the ~~largest~~ greatest winder tread depth at the 12 inch (305 mm) walkline shall not exceed the smallest ~~winder tread~~ by more than 3/8 inch (9.5 mm).

No comments.

Item C – 13 Request from Keith Rogers representing the Building Code Council Plumbing Standing Committee to amend the 2018 NC Building Code, Section 2902.6 as follows:

[P] 2902.6 Small occupancies. Drinking fountains shall not be required for an occupant load of 45 ~~30~~ or fewer.

No comments.

Item C – 14 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Building Code, Section 410.2 as follows:

410.2 Small occupancies. ~~Deleted.~~ Drinking fountains shall not be required for an occupant load of 30 or fewer.

No comments.

Item C – 15 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Building Code, Section 2902.2, Exception 2 as follows:

2. Separate facilities shall not be required in business occupancies with a total occupant load, including both employees and customers, of 30 or fewer. Separate facilities shall not be required in all other structures or tenant spaces with a total occupant load, including employees and customers, of 25 or fewer.

No comments.

Item C – 16 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Plumbing Code, Section 403.2, Exception 2 as follows:

2. Separate facilities shall not be required in business occupancies with a total occupant load, including both employees and customers, of 30 or fewer. Separate facilities shall not be required in all other structures or tenant spaces with a total occupant load, including employees and customers, of 25 or fewer.

No comments.

Item C – 17 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Building Code, Footnotes to Table 2902.1 as follows:

o. For business and mercantile occupancies with an occupant load of 25 30 or fewer, service sinks shall not be required.

No comments.

Item C – 18 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Plumbing Code, Table 403.1 as follows:

o. For business and mercantile occupancies with an occupant load ~~25~~ 30 or fewer, service sinks shall not be required.

No comments.

Item C – 19 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Building Code, Table 2902.1 as follows:

No.	CLASSIFICATION	OCCUPANCY	DESCRIPTION	WATER CLOSETS (Urinals SEE SECTION 419.2 OF THE IPC)
2	Business	B	(no changes to this section)	1 per 25 <u>30</u> for the first 50 <u>30</u> and 1 per 50 for the remainder exceeding 50 <u>30</u>

No comments.

Item C – 20 Request from Keith Rogers representing the Building Code Council Mechanical Standing Committee to amend the 2018 NC Plumbing Code, Table 403.1 as follows:

No.	CLASSIFICATION	OCCUPANCY	DESCRIPTION	WATER CLOSETS (Urinals SEE SECTION 419.2 OF THE IPC)
2	Business	B	(no changes to this section)	1 per 25 <u>30</u> for the first 50 <u>30</u> and 1 per 50 for the remainder exceeding 50 <u>30</u>

No comments.

Item C – 21 Request by Tim Henshaw representing the N.C. Fire Code Revision Committee to amend the 2018 NC Fire Code, Section 1031 as follows:

Section 1031.10 Fire Escape Stairways.

All fire escape stairways and ladders shall be kept clear and unobstructed at all times and shall be maintained in good working order. All fire escape stairways that need to be replaced or repaired shall comply with the requirements of the International Existing Building Code.

Section 1031.10.1 Examination.

Fire escape stairways, balconies, and ladders shall be examined for structural adequacy and safety in accordance with Section 1031.10 by a registered design professional every 5 years, or as required by the fire code official.

Section 1031.10.2 Examination Report.

Records of inspections, testing and maintenance shall be maintained in accordance with Section 107.3.

Section 1031.10.3 Marking.

The open space under fire escape stairways or ladders shall not be used for any purpose. Approved signs or other approved markings that include the words FIRE ESCAPE – KEEP CLEAR shall be provided to prohibit the obstruction thereof.

Tim Henshaw spoke in favor of this item.

Item C – 22 Request by Tim Henshaw representing the N.C. Fire Code Revision Committee to amend the 2018 Existing Building Code, Section 405 as follows:

405.6 Marking

The open space under fire escape stairways shall not be used for any purpose. Approved signs or other approved markings that include the words FIRE ESCAPE – KEEP CLEAR shall be provided to prohibit the obstruction thereof.

Tim Henshaw spoke of favor of this item.

Part D – Final Adoption

The following Petitions for Rulemaking have been granted or denied by the Council. Notice of Rulemaking proceedings and Public Hearing has been made. The Public Hearings were held on December 10, 2019. The Final Adoption meeting took place on March 10, 2020. The Council will give no further consideration to Petitions that are disapproved. Petitions that are approved will proceed through the Rulemaking process. The effective date is January 1, 2021 unless otherwise noted.

Item D – 1 Request by Jackie Flemming and Doug Allen representing Simpson Strong-Tie to amend the 2018 NC Residential Code, Appendix M, Section AM109.1.4 as follows:

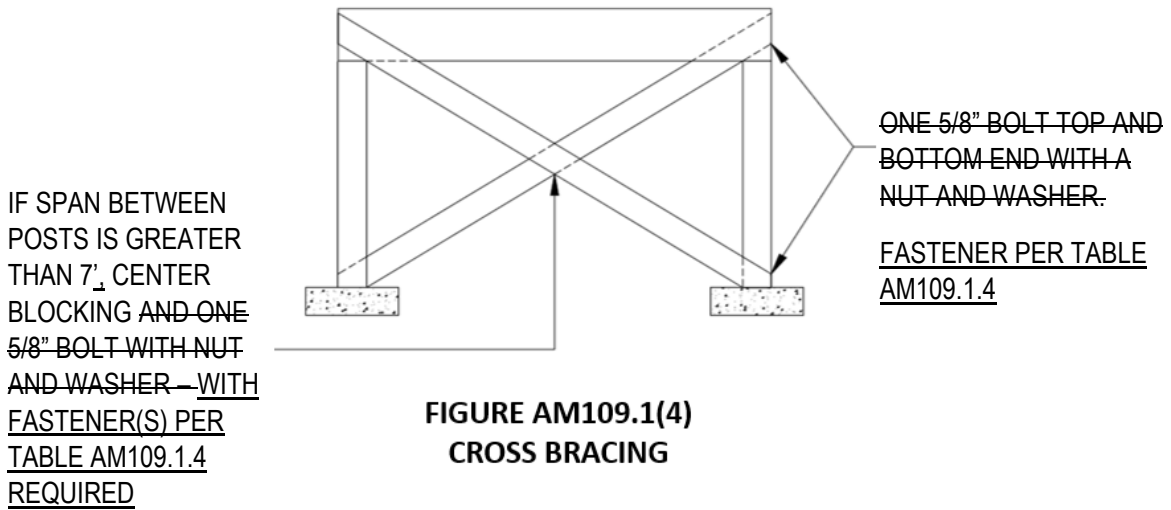
AM109.1.4 Cross bracing.

2x6 diagonal vertical cross bracing is permitted to be provided in two perpendicular directions for free standing decks or parallel to the structure at the exterior column line for attached decks. The 2x6 bracing shall be attached to the posts with one of the methods in Table AM109.1.4 ~~5/8-inch (16 mm) hot dip galvanized bolt with nut and washer~~ at each end of each bracing member in accordance with Figure AM109.1(4).

Table AM109.1.4
FASTENING OF BRACE (CHOOSE ONE)

<u>Fastener Type</u>	<u>Diameter (inches)</u>	<u>QTY</u>	<u>Length</u>
<u>Bolt</u>	<u>5/8^a</u>	<u>1</u>	<u>As required</u>
<u>Screws</u>	<u>0.27^b</u>	<u>2</u>	<u>Long enough to achieve a 1 1/2" thread penetration of structural member opposite head of screw</u>

- a. Bolts shall be hot dip galvanized through bolts with nut and washer
- b. Screws shall be hot dip galvanized (ASTM A153, Class C, minimum) self drilling screw fastener having a minimum diameter of 0.27", and installed in the center of the post with a minimum of 1" space between screws.



Residential Super Committee: Motion to approve as amended made by S. Knight. Second by D. Smith. Motion passed.

Building Code Council: Motion to approve as amended made by G. Embler. Second by S. Knight. Motion passed.

Item D – 2 Request by Charles Watts, AIA representing The Apartment Association of North Carolina to amend the 2018 NC Building Code, Section 1107.6.2.2.1 as follows:

1107.6.2.2.1. Type A Units. In Group R-2 occupancies containing more than ~~15~~ 20 *dwelling units* or *sleeping units*, at least 5 percent but not less than one of the units shall be a *Type A unit*. All Group R-2 units on a *site* shall be considered to determine the total number of units and the required number of *Type A units*. *Type A units* shall be dispersed among the various classes of units. Bedrooms in monasteries and convents shall be counted as *sleeping units* for the purpose of determining the number of units. Where the *sleeping units* are grouped into suites, only one *sleeping unit* in each suite shall count towards the number of required *Type A units*.

Exceptions:

1. The number of *Type A units* is permitted to be reduced in accordance with Section 1107.7.
2. *Existing structures* on a *site* shall not contribute to the total number of units on a *site*.
3. For a *site* with more than 100 units, at least 2 percent of the number of units exceeding 100 shall be *Type A units*.

Commercial Super Committee: Motion to approve made by L. Skinner. Second by M. Ali.

Motion passed.

Building Code Council: Motion to approve made by L. Skinner. Second by C. Conner. Motion passed.

Item D – 3 Request by Colin Triming representing North Carolina Fire Code Revision Committee to amend the 2018 NC Building Code and Fire Prevention Code, Section 905.3.1 as follows:

~~**905.3.1 Height.** Class III standpipe systems shall be installed throughout buildings where the floor level of the highest story is located more than 30 feet (9144 mm) above the lowest level of the fire department vehicle access, or where the floor level of the lowest story is located more than 30 feet (9144 mm) below the heights level of fire department vehicle access.~~

~~**Exceptions:**~~

- ~~1. Class I standpipes are allowed to in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2.~~

- ~~2. Class I manual standpipes are allowed in open parking garages where the highest floor is located not more than 150 feet (45720 mm) above the lowest level of fire department vehicle access.~~
- ~~3. Class I manual dry standpipes are allowed in open parking garages that are subject to freezing temperatures, provided that the hose connections are located as required for class II standpipes in accordance with Section 905.5.~~
- ~~4. Class I standpipes are allowed in basements equipped throughout with an automatic sprinkler system.~~
- ~~5. In determining the lowest level of fire department vehicle access, it shall not be required to consider either of the following:
 - ~~5.1 Recessed loading docks for four vehicles or less.~~
 - ~~5.2 Conditions where topography makes access from the fire department vehicle to the building impractical or impossible~~~~

905.3.1 Height. Class III standpipe systems shall be installed throughout buildings where any of the following exist:

1. Four or more stories are above or below grade plane.
2. The floor level of the highest story is located more than 30 feet (9144 mm) above the lowest level of the fire department vehicle access
3. The floor level of the lowest story is located more than 30 feet (9144 mm) below the highest level of fire department vehicle access.

Exceptions:

1. Class I standpipes are allowed in buildings equipped throughout with an automatic sprinkler system in accordance with Section 903.3.1.1 or 903.3.1.2.
2. Class I standpipes are allowed in Group B and E occupancies.
3. Class I manual standpipes are allowed in open parking garages where the highest floor is located not more than 150 feet (45720 mm) above the lowest level of fire department vehicle access.
4. Class I manual dry standpipes are allowed in open parking garages that are subject to freezing temperatures, provided that the hose connections are located as required for class II standpipes in accordance with Section 905.5.
5. Class I standpipes are allowed in basements equipped throughout with an automatic sprinkler system.
6. Class I standpipes are allowed in buildings where occupant-use hose lines will not be utilized by trained personnel or the fire department.
7. In determining the lowest level of fire department vehicle access, it shall not be required to consider either of the following:

- 7.1 Recessed loading docks for four vehicles or less.
- 7.2 Conditions where topography makes access from the fire department vehicle to the building impractical or impossible.

Commercial Super Committee: Motion to approve made by W. Hamilton. Second by M. Humiston.

Motion passed.

Building Code Council: Motion to approve made by W. Hamilton. Second by R. Euchner.

Motion passed.

NOTE: Due to some word changes during the edit process, the item that would have been D – 4 remained a C - item for the March 10, 2020 meeting. Therefore, there was no D – 4 for this meeting.

NOTE: Due to some word changes during the edit process, the item that would have been D – 5 remained a C - item for the March 10, 2020 meeting. Therefore, there was no D – 5 for this meeting.

Item D – 6 Request by Cliff Isaac representing the N.C. Department of Insurance to amend the 2018 N.C. Administrative Code and Policies as follows:

107.6 Inspections of component or element. Acceptance of inspection of a component or element by a NC registered architect or engineer will require completion of the “Design Professional Inspection Form” found in Appendix G.

DESIGN PROFESSIONAL INSPECTION FORM

RECORD OF THE INSPECTION OF A COMPONENT OR ELEMENT BY A NC LICENSED ARCHITECT OR ENGINEER

Project Information:

Residential Single-Family Project: Y N	Commercial Project: Y N
Code Enforcement Project No:	Permit No:
Project Name:	Owner:
Project Address:	Suite No:
Date Inspected:	Contractor Name:
Component Inspected:	

Responsible Licensed NC Architect or NC Engineer

Name:			
Firm Name:			
Phone Numbers:	Office:	Mobile:	
Email Address:			
Mailing Address:			

APPLICABLE CODE: _____

2018 NCBC = 2018 NC Building Code; 2018 NCRC = 2018 NC Residential Code

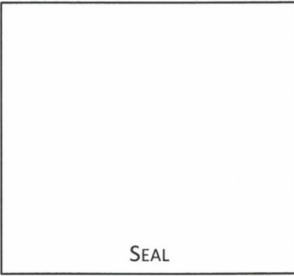
Describe Element/Component/Type of Inspection: *

*(subgrade form/letter may also be required)

Attestation/Signature:

By signing below, I certify that the component and/or element of the building as identified on this form has been inspected by me or someone under my direct supervision per subsection (b2) of NC G.S. 153A-352 and is in compliance with the **Code or other proposal of the architect or engineer** for the project. This inspection is in compliance with all of the requirements of the above referenced code. Attach any additional documents if needed.

Licensed Architect or Engineer



Inspection Department disclaimer:

Upon the receipt of a signed written document as required under subsection (a) of Article 160A-413.5., Code Enforcement shall be discharged and released from any liabilities, duties and responsibilities imposed by this article or in common law from any claim arising out of or attributed to the component or element in the construction of the building for which the signed written document was submitted. Be aware that this inspection will be noted in all inspection records including the Certificate of Occupancy or Certificate of Compliance. This inspection does not address any local ordinances or zoning requirements.

12/2019

Commercial Super Committee: Motion to approve made by K. Rogers. Second by W. Hamilton.

Motion passed with a vote of 6-approve/2-oppose.

Residential Super Council: Motion to approved made by W. Hamilton. Second by D. Smith.

Motion passed with a vote of 4-approve/2-oppose.

Building Code Council: Motion to approve made by W. Hamilton. Second by M. Humiston.

Motion passed with a vote of 9-approve/2-oppose.

Item D – 7 Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the 2018 N.C. Plumbing Code, Section 702.1 Exception as follows:

702.1 Above-ground sanitary drainage and vent pipe. Above-ground soil, waste and vent pipe shall conform to one of the standards listed in Table 702.1. Pipe fittings shall not be solvent-cemented inside of plastic pipe.

~~**Exception:** Plastic pipe with an inside diameter of 2 inches (51 mm) and larger shall not be used for storm drainage, drain, waste and vent conductors in buildings in which the top occupied floor exceeds 75 feet (23 m) in height.~~

Exception: Stacks in buildings in which the top occupied floor exceeds 75 feet (23 m) in height shall not be plastic.

Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner.

Motion passed.

Building Code Council: Motion to approve made by F. Meads. Second by C. Conner.

Motion passed.

Item D – 8 Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the 2018 N.C. Plumbing Code, Section 702.4 Fittings as follows:

~~**Exception:** Plastic pipe fittings and plastic plumbing appurtenances with an inside diameter 2 inches (51 mm) and larger shall not be used for drain, waste and vent conductors in buildings in which the top occupied floor exceeds 75 feet (23 m) in height.~~

Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner.

Motion passed.

Building Code Council: Motion to approve made by R. Euchner. Second by C. Conner. Motion passed.

Item D – 9 Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the 2018 N.C. Plumbing Code, Section 1102.2 as follows:

Exception: ~~Plastic pipe with an inside diameter of 2 inches and larger shall not be used for Stacks in which the top occupied floor exceeds 75 feet (23 m) in height.~~

Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner. Motion passed.

Building Code Council: Motion to approve made by R. Euchner. Second by C. Conner. Motion passed.

Item D – 10 Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the N.C. Plumbing Code, Section 917 as follows:

SECTION 917

SINGLE STACK VENT SYSTEM ~~(SOVENT)~~

~~917.1 Design and installation shall be in accordance with the design criteria contained in the Copper Development Association (CDA) Handbook No. 802. Materials shall meet standards and specifications listed in Tables 702.1 and 702.4 for drain, waste and vent pipe and fittings.~~

SINGLE-STACK VENT SYSTEM

917.1 Single-stack vent system permitted.

A drainage stack shall serve as a single-stack vent system where sized and installed in accordance with Sections 917.2 through 917.9. The drainage stack and branch piping shall be the vents for the drainage system. The drainage stack shall have a stack vent.

917.2 Stack size.

Drainage stacks shall be sized in accordance with Table 917.2. Stacks shall be uniformly sized based on the total connected drainage fixture unit load. The stack vent shall be the same size as the drainage stack. A 3-inch (76 mm) stack shall serve not more than two closets.

TABLE 917.2
SINGLE STACK SIZE

STACK SIZE (inches)	MAXIMUM CONNECTED DRAINAGE FIXTURE UNITS		
	Stacks less than 75 feet in height	Stacks 75 feet to less than 160 feet in height	Stacks 160 feet and greater in height
3	24	NP	NP
4	225	24	NP
5	480	225	24
6	1,015	480	225
8	2,320	1,015	480
10	4,500	2,320	1,015
12	8,100	4,500	2,320
15	13,600	8,100	4,500

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

917.3 Branch size.

Horizontal branches connecting to a single-stack vent system shall be sized in accordance with Table 710.1(2). Not more than one water closet shall discharge into a 3-inch (76 mm) horizontal branch at a point within a developed length of 18 inches (457 mm) measured horizontally from the stack. Where a water closet is within 18 inches (457 mm) measured horizontally from the stack and not more than one fixture with a drain size of not more than 1½ inches (38 mm) connects to a 3-inch (76 mm) horizontal branch, the branch drain connection to the stack shall be made with a sanitary tee.

917.4 Length of horizontal branches.

The length of horizontal branches shall conform to the requirements of Sections 917.4.1 through 917.4.3.

917.4.1 Water closet connection.

Water closet connections shall be not greater than 4 feet (1219 mm) in developed length measured horizontally from the stack.

Exception: Where the connection is made with a sanitary tee, the maximum developed length shall be 8 feet (2438 mm).

917.4.2 Fixture connections.

Fixtures other than water closets shall be located not greater than 12 feet (3657 mm) in developed length, measured horizontally from the stack.

917.4.3 Vertical piping in branch.

The length of vertical piping in a fixture drain connecting to a horizontal branch shall not be considered in computing the fixture's distance in developed length measured horizontally from the stack.

917.5 Minimum vertical piping size from fixture.

The vertical portion of piping in a fixture drain to a horizontal branch shall be 2 inches (51 mm). The minimum size of the vertical portion of piping for a water-supplied urinal or standpipe shall be 3 inches (76 mm). The maximum vertical drop shall be 4 feet (1219 mm). Fixture drains that are not increased in size, or have a vertical drop in excess of 4 feet (1219 mm), shall be individually vented.

917.6 Additional venting required.

Additional venting shall be provided where more than one water closet discharges to a horizontal branch where the distance from a fixture trap to the stack exceeds the limits in Section 917.4. Where additional venting is required, the fixture(s) shall be vented by individual vents, common vents,

wet vents, circuit vents, or a combination waste and vent pipe. The dry vent extensions for the additional venting shall connect to a branch vent, vent stack, stack vent, air admittance valve, or shall terminate outdoors.

917.7 Stack offsets.

Where fixture drains are not connected below a horizontal offset in a stack, a horizontal offset shall not be required to be vented. Where horizontal branches or fixture drains are connected below a horizontal offset in a stack, the offset shall be vented in accordance with Section 907. Fixture connections shall not be made to a stack within 2 feet (610 mm) above or below a horizontal offset.

917.8 Prohibited lower connections.

Stacks greater than 2 branch intervals in height shall not receive the discharge of horizontal branches on the lower two floors. There shall not be connections

to the stack between the lower two floors and a distance of not less than 10 pipe diameters downstream from the base of the single stack vented system.

917.9 Sizing building drains and sewers.

The building drain and building sewer receiving the discharge of a single stack vent system shall be sized in accordance with Table 710.1(1).

**Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner.
Motion passed.**

**Building Code Council: Motion to approve made by F. Meads. Second by R. Euchner.
Motion passed.**

Item D- 11 Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the 2018 N.C. Plumbing Code, Section 917.1.1 as follows:

917.1.1 Engineered Single Stack Systems. Engineered single stack systems shall be listed in accordance to the standards of the specific material utilized in the system, designed by a design professional and installed in accordance with the manufacturer's installation instructions.

**Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner.
Motion passed.**

**Building Code Council: Motion to approve made by R. Euchner. Second by C. Conner.
Motion passed.**

Item D - 11A Request by Jerry Fraker and Leon Skinner representing the City of Raleigh to amend the 2018 N.C. Plumbing Code, Section 1102.7 as follows:

~~**1102.7 Fittings.** Plastic pipe fittings and plastic plumbing appurtenances with an inside diameter of 2 inches and larger shall not be used for storm drainage conductors in buildings in which the top occupied floor exceeds 75 feet (23 m) in height.~~

~~**Exception:** Plastic pipe fittings and plastic plumbing appurtenances with inside diameter of 2 inches and larger shall not be used for storm drainage conductors in buildings in which the top occupied floor exceeds 75 feet (23 m) in height.~~

**Commercial Super Committee: Motion to approve made by K. Rogers. Second by L. Skinner.
Motion passed.**

**Building Code Council: Motion to approve made by R. Euchner. Second by C. Conner.
Motion passed.**

Item D – 12 Request by Cothran Harris representing the North Carolina Self Storage Association (NCSSA) to amend the 2018 N.C. Building Code, Table 504.4 as follows:

**TABLE 504.4^{a,b}
ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE**

OCCUPANCY CLASSIFICATION	TYPE OF CONSTRUCTION									
	SEE FOOTNOTES	TYPE I		TYPE II		TYPE III		TYPE IV	TYPE V	
		A	B	A	B	A	B		A	B
S-1	NS	UL	11	4	2	3	2	4	3	1
	S	UL	12	5	3 4	4	3	5	4	2

(The remainder of the table and footnotes remain unchanged.)

**Commercial Super Committee: Motion to approve made by L. Skinner. Second by W. Hamilton.
Motion passed.**

**Building Code Council: Motion to approve made by R. Euchner. Second by C. Conner.
Motion passed with 1 in opposition.**

Item D – 13 Request by Robert Schwachenwald representing Bizzy Bee Plumbing, Inc. to amend the 2018 N.C. Plumbing Code, Section 718 and Chapter 15 as follows:

SECTION 718

CURED IN PLACE

718.1 General. This section shall govern the replacement, rehabilitation or repair of existing *building sewer* piping by cured in place piping methods.

718.2 Scope. Cured in Place Piping (CIPP) installations shall conform to the requirements of ASTM F 1216 and be installed per the manufacturer’s installation instructions.

ASTM STANDARDS

F 1216-09 Standard for Cured in Place Piping (CIPP).....718.1, 718.2

**Commercial Super Committee: Motion to approve made by L. Skinner. Second by K. Rogers.
Motion passed.**

**Residential Super Committee: Motion to approve made by D. Smith. Second by L. Skinner.
Motion passed.**

**Building Code Council: Motion to approved made by R. Euchner. Second by G. Embler.
Motion passed with one in opposition.**

Item D – 14 Request by Colin Triming representing the N.C. Fire Code Revision Committee to amend the 2018 Fire Code, Section 321 as follows:

SECTION 321

TEMPORARY SLEEPING UNITS FOR DISASTER RELIEF WORKERS

321.1 General.

This section shall apply to temporary use of existing buildings for purposes of providing sleeping units for volunteer disaster relief workers supporting a disaster declaration issued by the Governor of North Carolina. Existing buildings shall be permitted to provide temporary sleeping facilities for disaster relief workers provided that all the provisions of this section are met and approved by the local code officials.

Facilities complying with 321 shall not require compliance with other provisions of this code or the Building Code.

Exception: Buildings containing the following occupancies or uses shall not be used for temporary sleeping units for disaster relief workers:

1. Group F
2. Group H
3. Group S-1 vehicle repair garage
4. Group S-1 bulk tire storage
5. Woodworking operations

321.2 Permit required.

An operational permit as designated in 105.6.49 shall be required.

321.3 Short Term Occupancy.

Short term occupancies meeting the requirements of this section shall be permitted in existing buildings that have a current certificate of occupancy and connected electrical

service. Use of a building or portion thereof for a short-term occupancy shall not exceed two days within 30 consecutive days.

321.3.1 Fire alarm and detection systems.

Functioning smoke detection as required for the existing building or single station battery operated *smoke alarms* where no system exists shall be provided throughout the sleeping room, *exit access* corridors, and *stairs* serving the *sleeping units* per 907.2.11.

Carbon monoxide detection devices shall be provided as required by 915.1.4 when fuel fired appliances are present.

321.3.2 Ventilation and temperature control.

Heating, cooling, and ventilation must be provided by equipment installed and approved for such use. Use of portable space heaters shall be prohibited.

321.3.3 Plumbing fixtures.

Plumbing fixtures shall be provided as required for Group R-2 by the NC Plumbing Code, Section 403 for the number of disaster relief workers occupying the building. Temporary facilities are permitted as approved by the local code official.

321.3.4 Accessibility.

Sleeping units for temporary disaster relief workers complying with the NC Building Code, Chapter 11 and Section 1009 are not required provided that the building owner or supporting organization has other sleeping facilities that are accessible by the disabled within the same jurisdiction as the temporary *sleeping units*.

321.4 Long Term Occupancy.

Long term occupancies meeting the requirements of this section and 321.3 shall be permitted in existing buildings that have a current certificate of occupancy and connected electrical service. Long term occupancies are for periods exceeding short term occupancy as designated in Section 321.3 with a maximum of 180 consecutive calendar days. The local fire official may extend the initial time period up to an additional 180-day period as often as needed if the building owner or his designee provides documentation satisfactory to the local fire official that an extension of time is necessary to support local disaster relief efforts and the fire official verifies that the building remains in compliance with this section.

321.4.1 Occupant load and age.

The maximum number of disaster relief workers is 20 ambulatory individuals. The disaster relief workers must be 18 years of age or older.

Exception: Occupants may be less than 18 years of age if the sleeping unit meets all of the following conditions:

1. Is intended to serve disaster relief worker families with children and their parents or other legal guardian; and
2. Equipped with *smoke alarms* meeting applicable code provisions for such devices in all sleeping areas.

321.4.2 Staff.

The sleeping units must be staffed by a minimum of two individuals of 21 years of age or older trained in accordance with Chapter 4 of the NC Fire Code and at least one trained individual shall be awake to monitor the sleeping room and restrooms throughout the time the facility is occupied by the disaster relief workers.

321.4.3 Fire alarm and detection systems.

Functioning smoke detection as required for the existing building or *single station smoke alarms* where no system exists shall be provided throughout the sleeping room, *exit access* corridors, and *stairs* serving the *sleeping units* per 907.2.11.

Carbon monoxide detection devices shall be provided as required by 915.1.4 when fuel fired appliances are present.

Building Owner or his designee shall submit documentation illustrating that the *smoke alarm* is approved and that all emergency batteries have been tested and are operational.

321.4.4 Fire extinguishers.

There must be an adequate number of fire extinguishers to serve the *sleeping units* as determined by the local fire code official. Travel distance to an approved fire extinguisher shall not exceed 50 feet. Minimum rating of extinguishers shall be 3A-40BC.

321.4.5 Automatic sprinkler system.

No fire protection sprinkler system is required per 903.2.8, Exception #6. Any existing fire sprinkler system shall be operational.

Exception: Sprinkler system required by 321.4.7.

321.4.6 Means of egress.

There shall be a minimum of two separate code compliant *means of egress* serving the *sleeping units*. An evacuation route approved by the local fire code officials shall be posted and be in compliance with Sections 401, 403, 404, and 406 of the NC Fire Code.

321.4.6.1 Illumination.

The disaster relief workers sleeping rooms and exit access corridors and stairs shall have emergency powered illumination with a duration of not less than 90-minutes.

321.4.7 Location of sleeping units.

Sleeping units above or below the level of exit discharge are required to have a fire sprinkler system complying with 903.3 or an automatic smoke detection system complying with 907.2.8.2.

321.4.8 Occupant restrictions.

1. No smoking shall be permitted in the facility.
2. Candles, incense and similar open-flame-producing items shall not be allowed within the *sleeping units* or areas immediately adjacent to the *sleeping units*.
3. No temporary cooking equipment shall be permitted in the facility.

105.6.49 Temporary sleeping units for disaster relief workers (mandatory permit).

An operational permit is required for operation of long-term temporary *sleeping units* for disaster relief workers.

903.2.8 Group R. An *automatic sprinkler system* installed in accordance with Section 903.3 shall be provided throughout all buildings with a Group R *fire area*.

Exceptions:

6. Temporary *sleeping units* for disaster relief workers as allowed by Section 321.4.5.

Commercial Super Committee: Motion to approve as amended made by W. Hamilton. Second by M. Humiston. Motion passed.

Building Code Council: Motion to approve as amended made by R. Euchner. Second by W. Hamilton. Motion passed.

Item D – 15 Request by David Smith representing the N.C. Residential Code Ad-Hoc Committee to amend the 2018 N.C. Residential Code, Section R311.7.8.1 as follows:

R311.7.8.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

Exceptions:

1. The use of a volute, turnout, ~~or~~ starting easing or starting newel shall be allowed over the lowest tread.
2. When handrail fittings or bendings are used to provide continuous transition between flights, the transition from handrail to *guard*, or used at the start of a flight, the handrail height at the fittings or bendings shall be permitted to exceed the maximum height.

Residential Super Committee: Motion to approve made by D. Smith. Second by S. Knight.

Motion passed.

Building Code Council: Motion to approve made by R. Euchner. Second by S. Knight.
Motion passed.

Part E – Reports

❖ **Ad-Hoc Committee Reports**

Electrical has completed between 50 – 60% of the 2020 code updates.

Residential has a scheduled meeting in Raleigh on 3/16.

Structural continues to meet regularly.

Tent had to cancel their last meeting and the next one is scheduled for 4/17 in Mecklenburg county.

❖ **Standing Committee Reports**

None.

❖ **Staff Reports**

Cliff Isaac introduced the NC DOI / OSFM staff members in attendance:

Joe Starling, Charlie Johnson, David Rittlinger, Mark Burns, Bill Murchison, Bill Kirk, Rob Roegner, Carl Martin, Tara Barthelmiss, Karen Holder.

❖ **Chairman’s Report**

Chairman Robbie Davis thanked everyone for being in attendance.

He sent apologies from the three absent Council members.

❖ **Public Comments**

None.

Part F – Appeals

The Cory Albright and 24/7/365, Inc. Appeal is scheduled for Wednesday, April 29, 2020. The appeal will take place in the Albemarle Building, 325 North Salisbury Street, Raleigh, NC 27603, 2nd Floor Training Room 240.

Adjourned.